



ENCROACHMENT PERMIT
General Permit
 City of Riverside - Public Works Dept.
 951-826-5341

Issuance of this permit shall not be construed as a waiver of any other applicable permit or requirement, and is only revocable permission to use the land for the purpose described.

Owner: HISTORIC MISSION INN
Location: 3649 MISSION INN AV RIVE
A.P.N.: 213-231-001

Encroachment: INSTALL A FENCE ENCLOSURE INTO THE MAIN STREET PEDESTRIAN MALL TO CREATE AN EXCLUSIVE DINING AREA AS SHOWN ON ATTACHED EXHIBIT

The above-described encroachment being shown on Exhibit A attached hereto.

Upon issuance of this permit, I agree to comply with the attached terms and conditions.

Date: 2/27/06

By: [Signature]

Date: _____

By: _____

Applicant
 HISTORIC MISSION INN
 3649 MISSION INN AVE
 RIVERSIDE CA
 92501
 784-0300

Contractor/Developer

ENCROACHMENT PERMIT APPROVAL

This permit has been reviewed and approved by the Departments listed below, provided the attached terms and conditions are adhered to:

- P/W ENGINEERING
- P/W TRAFFIC
- P/U WATER
- P/U ELECTRIC

FINAL APPROVAL

Date: 2/23/06

[Signature]
 City Engineer

THIS PERMIT IS NOT VALID UNTIL ISSUED AND POSTED IN CITY RECORDS

Issued By: [Signature]

Dated: 2/27/06



City of Riverside

The following are requirements that need to be met for your permit #PW06-0090 .

- 1: Permittee acknowledges that the area of encroachment is owned or controlled by the City of Riverside.
- 2: Permittee acknowledges that the described property could be needed for a proposed or planned public improvement and the City may revoke this permit. Upon written notice of revocation, the permittee shall, within the time prescribed by the City, remove all improvements placed, constructed or maintained. If the permittee fails to abide by the removal order of the City, the City shall have the right to remove and destroy the improvements without reimbursement to the permittee. The cost of such removal shall be paid by the permittee to the City and shall constitute a debt owed to the City.
- 3: Permittee waives the right of claim, loss, damage or action against the City resulting from revocation, termination, removal of improvements or any action of the City, its officers, agents or employees taken in accordance with the terms herein.
- 4: If the Public Works Director of the City of Riverside finds that the permittee is in default of the terms of this permit, that shall be cause for revocation.
- 5: Permittee herewith agrees to hold the City of Riverside harmless from and against all claims demands, costs, losses, damages, injuries, actions for damages and/or injuries, and liability in connection with the construction, encroachment, and/or maintenance to be done by permittee within the described property.
- 6: Prior to any construction taking place on City controlled property, permittee shall obtain a Construction Permit or Street Opening Permit from the City Public Works Department.
- 7: The permittee agrees to insure that construction of their improvements will not interfere in any way with any existing City or utility facilities.
- 8: Permittee acknowledges that existing city or utility facilities will require future maintenance, reconstruction, and revisions and that facilities may be added, any of which may result in removal or alteration of the permittee's improvements without reimbursement to the permittee.
- 9: Prior to construction, permittee shall contact Underground Service Alert to field locate existing utility lines. Any conflicts discovered will void the permit until acceptable revisions are made. It shall be Permittee's responsibility to determine the location and required clearances from all public and private utility, sewer and drainage facilities prior to drilling and shall only drill in compliance with such clearance requirements.
- 10: Prior to issuance of building permits, the applicant shall submit plans for two transparent skylights over the two northern open arcade bays, including adequate design for water runoff and minimal visual intrusion, subject to approval of Cultural Heritage Board staff.
- 11: Permittee agrees to relocate the Mall Lamp and Post to the Corner of the Fence Enclosure.

3649 Mission Inn Avenue
Riverside, California 92501

Relocate Lamp to Face of

MAIN STREET MALL

SIXTH STREET

PLAT MAP

SCALE: 1" = 10'-0"

ROTUNDA
(Not a Part)

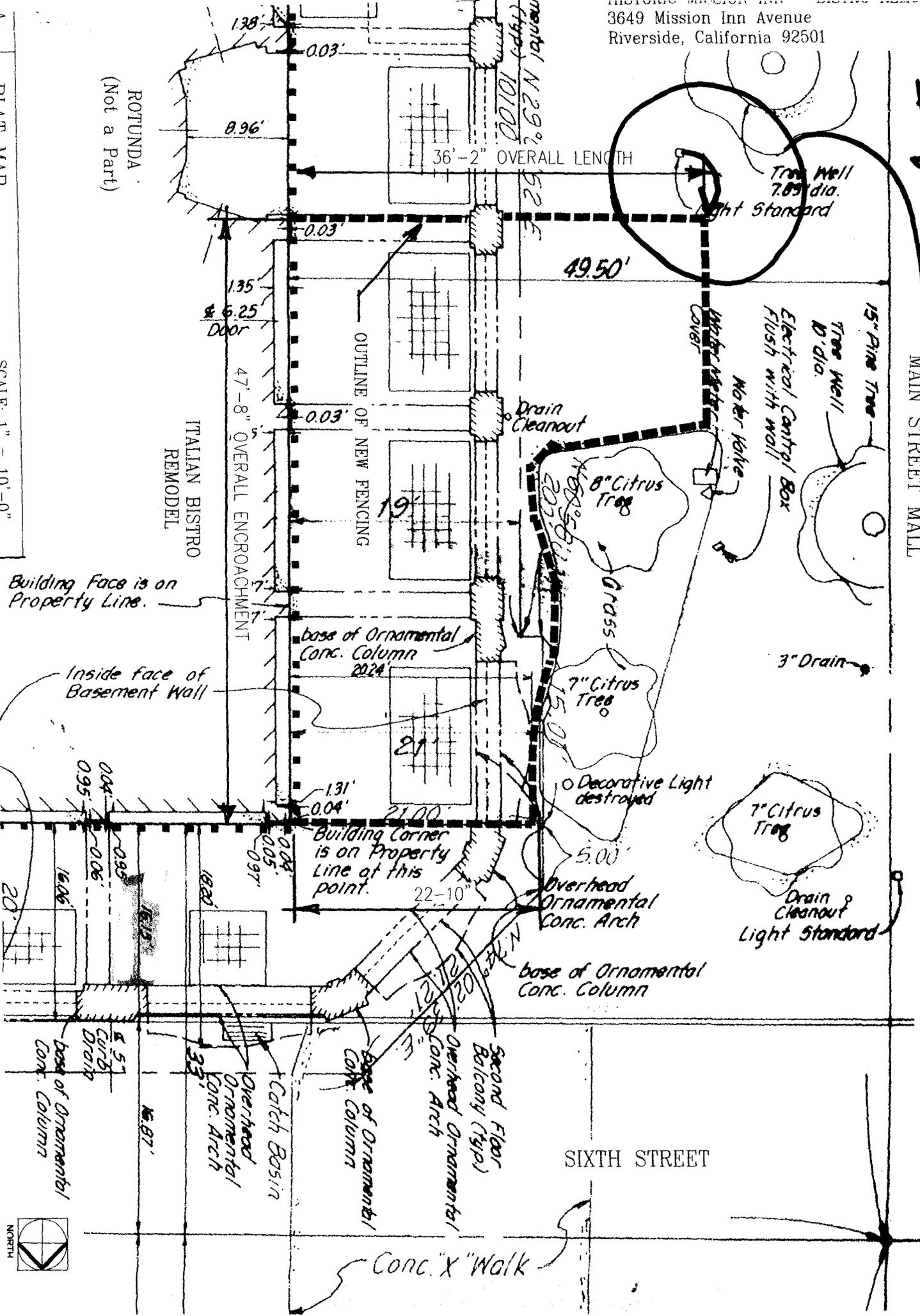
ITALIAN BISTRO
REMODEL

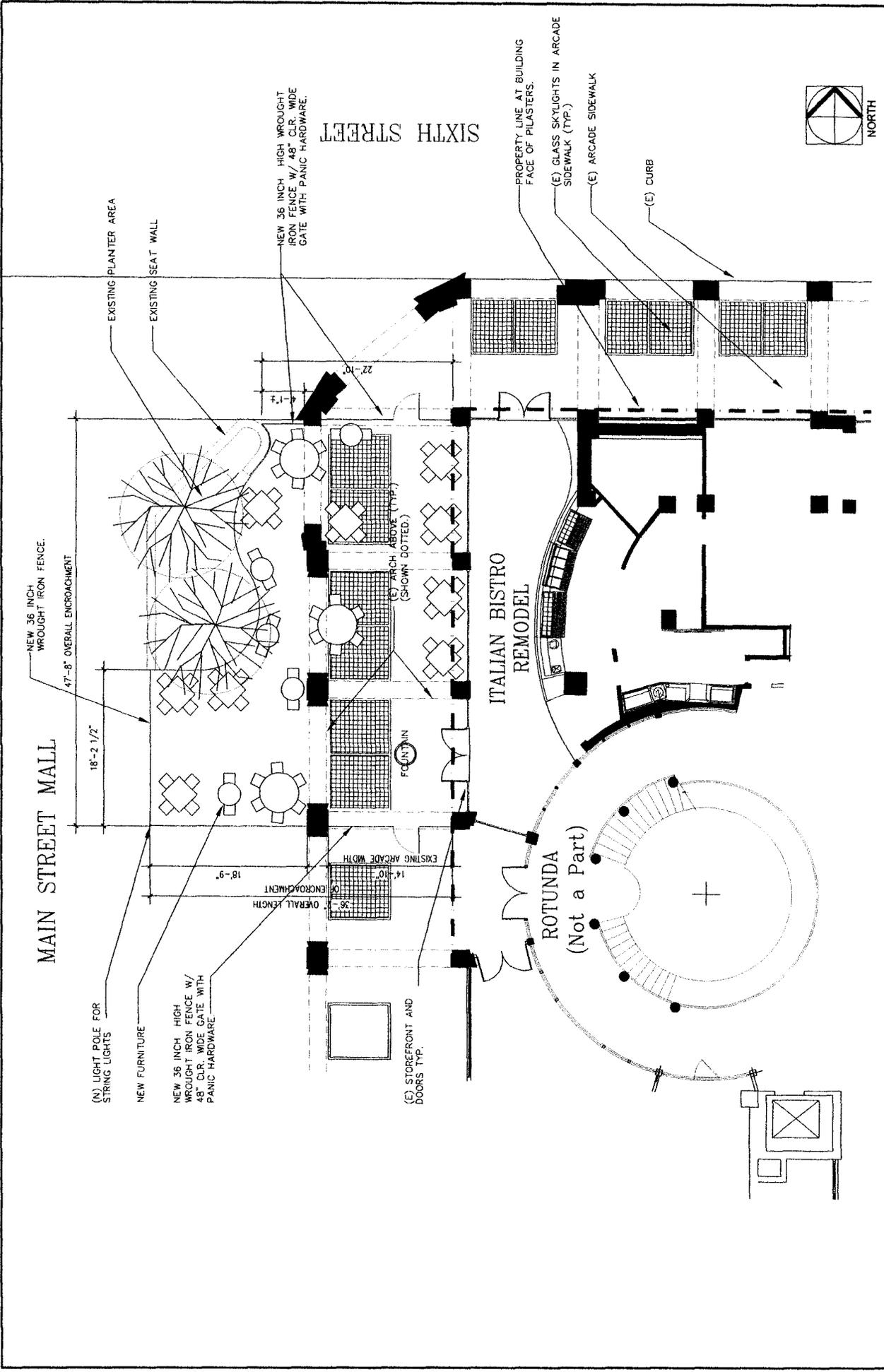
Building Face is on
Property Line.

Inside face of
Basement Wall

Building Corner
is on Property
Line at this
point.

Conc. "X" Walk

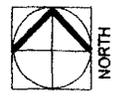




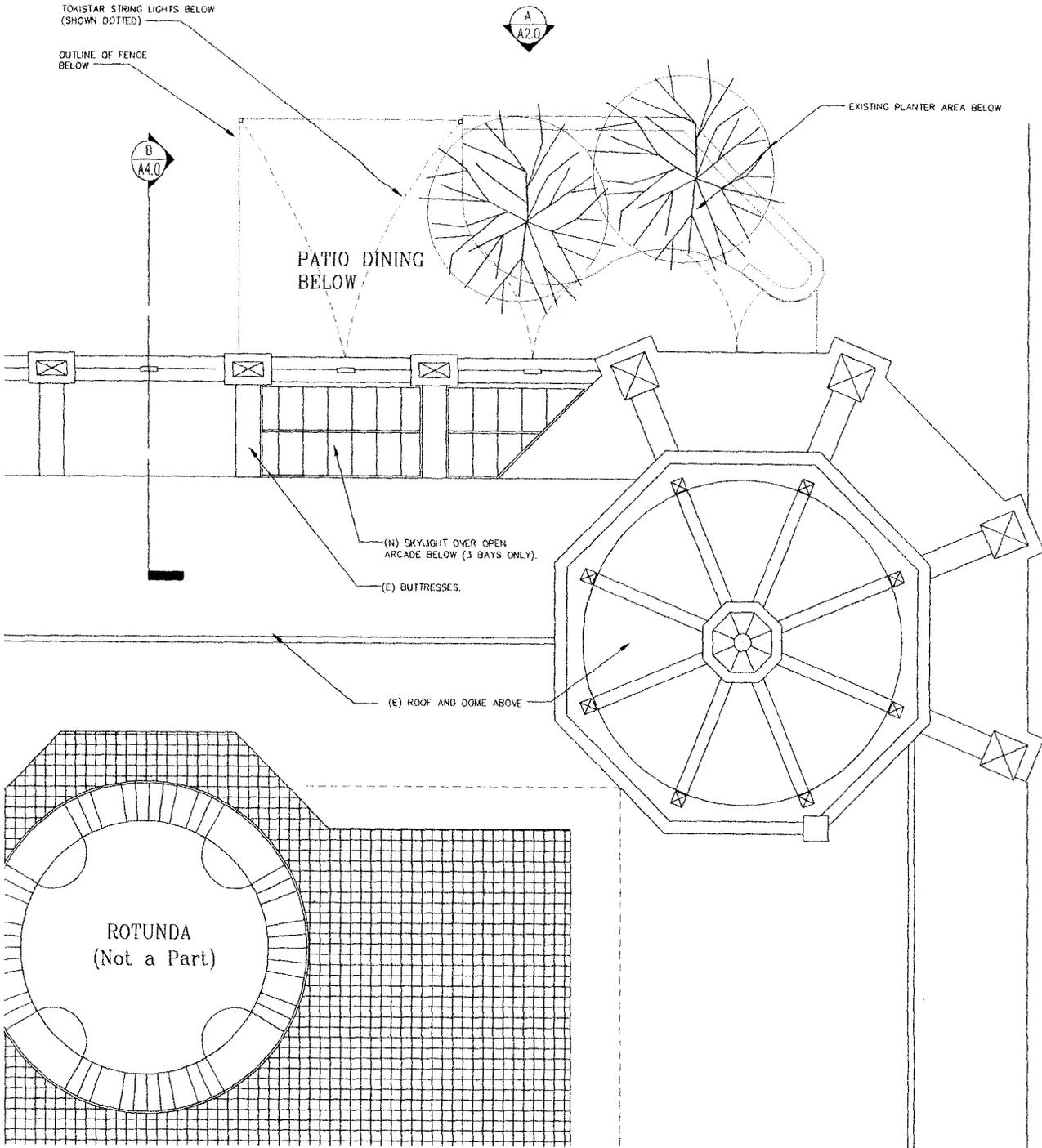
SCALE: 1/16" = 1'-0"

B PLAN VIEW

HISTORIC MISSION INN - BISTRO REMODEL
 3649 Mission Inn Avenue
 Riverside, California 92501

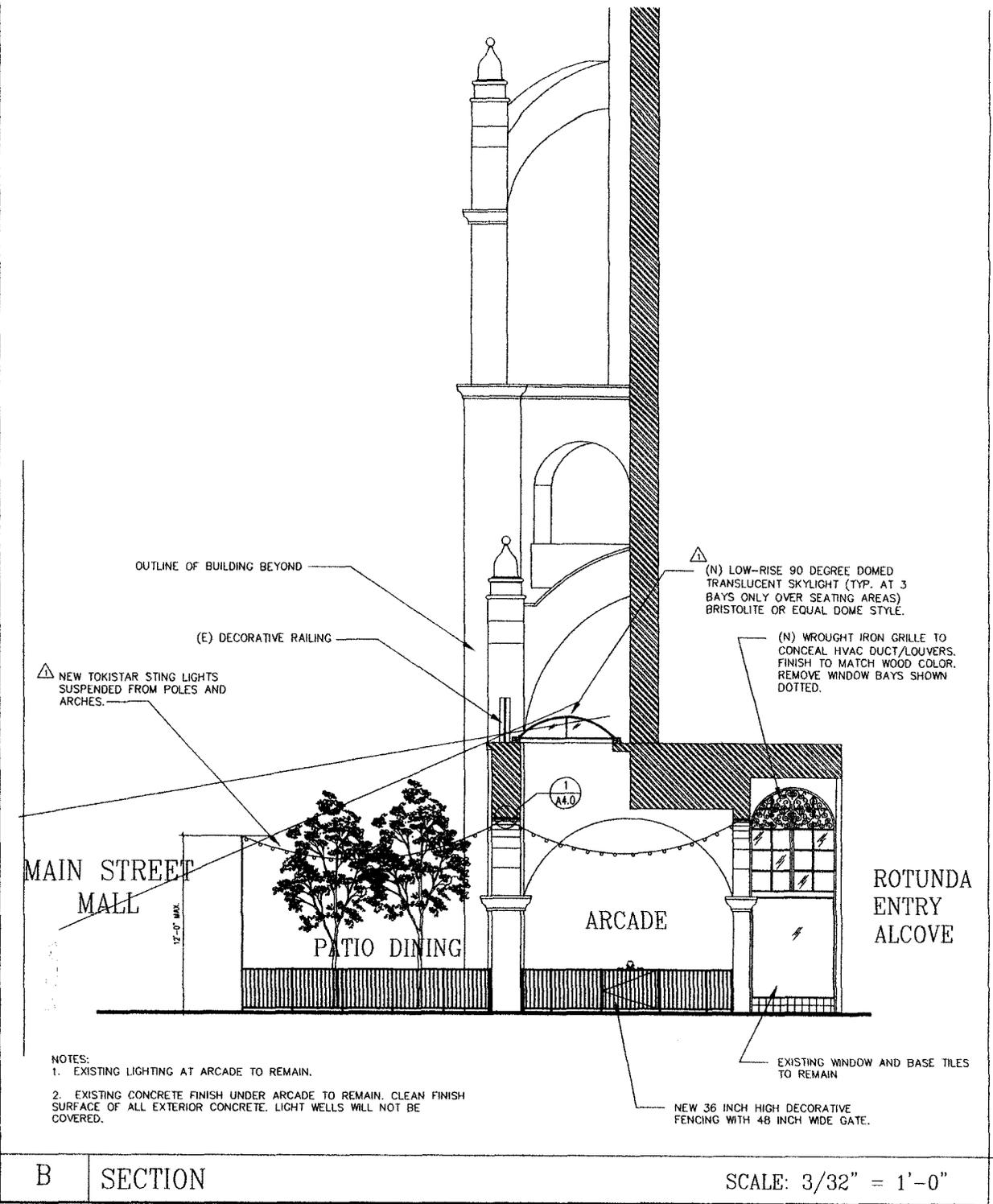


MAIN STREET MALL



A ROOF PLAN VIEW

SCALE: NONE



OUTLINE OF BUILDING BEYOND

(E) DECORATIVE RAILING

△ NEW TOKISTAR STING LIGHTS
SUSPENDED FROM POLES AND
ARCHES.

△ (N) LOW-RISE 90 DEGREE DOMED
TRANSLUCENT SKYLIGHT (TYP. AT 3
BAYS ONLY OVER SEATING AREAS)
BRISTOLITE OR EQUAL DOME STYLE.

(N) WROUGHT IRON GRILLE TO
CONCEAL HVAC DUCT/LOUVERS.
FINISH TO MATCH WOOD COLOR.
REMOVE WINDOW BAYS SHOWN
DOTTED.

MAIN STREET
MALL

PATIO DINING

ARCADE

ROTUNDA
ENTRY
ALCOVE

NOTES:
1. EXISTING LIGHTING AT ARCADE TO REMAIN.
2. EXISTING CONCRETE FINISH UNDER ARCADE TO REMAIN. CLEAN FINISH
SURFACE OF ALL EXTERIOR CONCRETE. LIGHT WELLS WILL NOT BE
COVERED.

EXISTING WINDOW AND BASE TILES
TO REMAIN

NEW 36 INCH HIGH DECORATIVE
FENCING WITH 48 INCH WIDE GATE.

B SECTION

SCALE: 3/32" = 1'-0"