

ENCROACHMENT PERMIT

Pursuant to Resolution No. 11065 of the City of Riverside, permission is hereby granted to RIVERSIDE TOWNE CENTER NO. 1, a Limited Partnership
10255 Magnolia Avenue
Riverside, CA 92503

his heirs and assigns, hereinafter referred to as "Permittee" to use and occupy the following described property. That portion of the public street right of way of Magnolia Avenue lying adjacent to the south-easterly line of Parcel 2 of Parcel Map, as shown by map on file in Book 18 of Parcel Maps, at Page 10 thereof, records of Riverside County, California, as shown by the attached Exhibit "A",

in accordance with the terms hereof.

1. Permittee shall use and occupy the described property only in the manner and for the purposes as follows: Construction and maintenance of a private parking lot encroaching into said public right of way as shown by the attached Exhibit "A".

2. Permittee, by acceptance of the benefits hereunder, acknowledges title to the property to be in the City of Riverside and waives any right to contest the validity of the dedication or grant.

3. Permittee acknowledges that the described property is the site of a proposed or planned public improvement and that, accordingly, all rights and privileges of use permitted shall cease and expire upon notice of revocation by the City. Upon the expiration or revocation, Permittee shall, within the time prescribed by the City, remove all improvements or obstructions placed, constructed or maintained by the Permittee. If the Permittee fails to abide by the removal order of the City within the time prescribed, the City shall have the right to remove and destroy the improvements without reimbursement to the Permittee and the cost of such removal shall be paid by the Permittee to the City of Riverside and shall constitute a debt owed to the City of Riverside.

4. Permittee, by acceptance hereof, waives the right of claim, loss, damage or action against the City of Riverside arising out of or resulting from revocation, termination, removal of the improvements or any action of the City of Riverside, its officers, agents or employees taken in accordance with the terms hereof.

5. Finding and determination by the City Council of the City of Riverside that the Permittee, or his heirs and assigns or successors in interest, are in default of the terms hereunder shall be cause for revocation.

6. Permittee herewith agrees to hold the City of Riverside harmless from and against all claims, demands, costs, losses, damages, injuries, action for damages and/or injuries, and liability growing or arising out of or in connection with the construction, encroachment, and/or maintenance to be done by Permittee or his agents, employees or contractors within the described property.

DATED: May 19, 1987

CITY OF RIVERSIDE, a municipal corporation

By Sam Rigati Mayor
Pro Tempore

Attest Alicia A. Hane City Clerk

The foregoing is accepted by: Riverside Towne Center, a Limited Partnership

WATT COMMERCIAL PROPERTIES, General Partner
(Signature(s) of Permittee)

Janet Segal
Janet Segal, President

APPROVED AS TO CONTENT

William D. Gardner
Department Head

APPROVED AS TO FORM

John Woodhead
City Attorney

CONCURS WITH

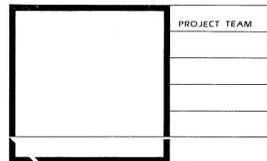
Robert C. Morse
Planning Department

CITY MANAGER APPROVAL

Robert E. Tremont
City Manager



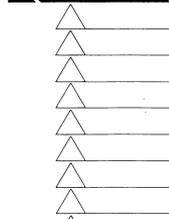
ASA ARCHITECTS
 5657 WILSHIRE BLVD. SUITE 340
 LOS ANGELES, CA. 90036
 (213) 931 5357



- ARCHITECT
- MECHANICAL
- ELECTRICAL
- LANDSCAPE
- INTERIORS

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 THESE DRAWINGS AND SPECIFICATIONS
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 A.S.A. ARCHITECTS. VIOLATION OF THESE
 DRAWINGS OR SPECIFICATIONS SHALL
 CONSTITUTE CONCLUSIVE EVIDENCE OF
 ACCEPTANCE OF THESE RESTRICTIONS.

DATE ISSUED



PROJECT TITLE

RIVERSIDE TOWNE CENTER
 RIVERSIDE, CALIFORNIA

EXTERIOR REMODEL

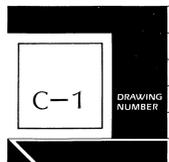
PROJECT TITLE

PROJECT NUMBER
 08 - 86 / 29B

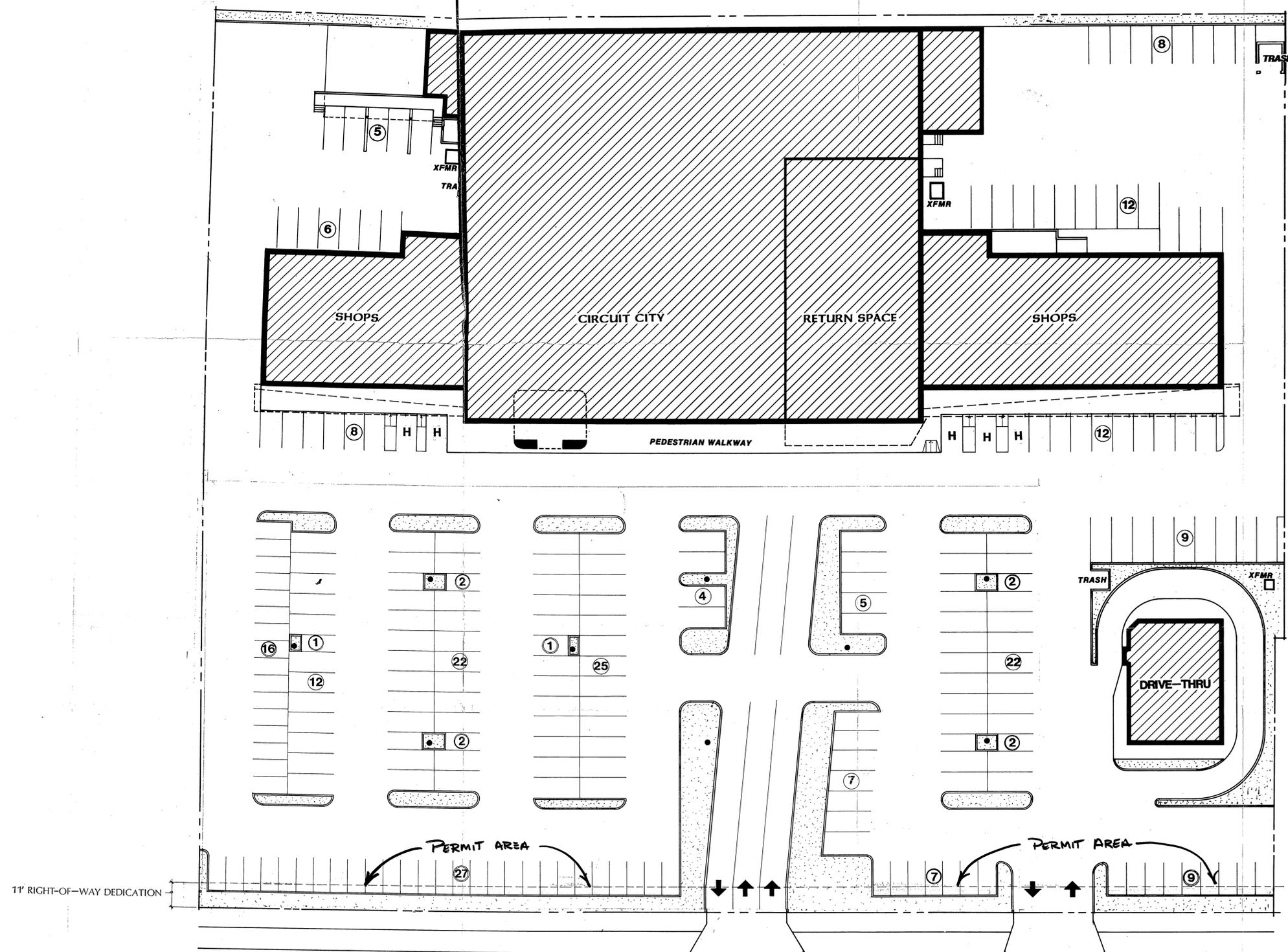
CLIENT

DRAWING TITLE

NEW PARKING LAYOUT



C-1 DRAWING NUMBER



SITE PLAN
 SCALE: 1" = 20'

SITE AREA 184 694 S.F.
 BUILDING AREA 51 168 S.F.
 PARKING REQUIRED 217
 PARKING PROVIDED 226 (INCL. 5 HANDIC.)
 (INCL. 69 COMPACT = 30.5%)