

ENCROACHMENT PERMIT

Pursuant to Resolution No. 11065 of the City of Riverside, permission is hereby granted to W.H. Latimer, Trustee (as Lessee)  
P.O. Box 588  
Ontario, CA 91761

his heirs and assigns, hereinafter referred to as "Permittee" to use and occupy the following described property.

That portion of the public street right-of-way of Vine Street which adjoins Block 6, Range 1 of the town of Riverside as shown by map on file in Book 7, Page 17 of Maps, Records of San Bernardino County, California and as shown on the attached Exhibit "A".

in accordance with the terms hereof.

1. Permittee shall use and occupy the described property only in the manner and for the purposes as follows:

Construction and maintenance of the following items encroaching into said public street right-of-way a maximum of 4.5 feet as shown on the attached Exhibit "A".

- 1) Concrete Stairs
- 2) Pipe handrails
- 3) Concrete columns
- 4) Canvas canopy with frame and lights
- 5) Raised planters
- 6) Wheel chair ramp

1a. 12 feet of vertical clearance shall be maintained from all overhead electrical facilities.

1b. Prior to construction, Permittee shall contact all utility companies with facilities in the permit area to determine if the proposed improvements will conflict with any existing or proposed facilities.

1c. Issuance of this permit shall not constitute any approvals by the Planning Department for variances, setbacks, building permits, design review, etc.

2. Permittee, by acceptance of the benefits hereunder, acknowledges title to the property to be in the City of Riverside and waives any right to contest the validity of the dedication or grant.

3. Permittee acknowledges that the described property is the site of a proposed or planned public improvement and that, accordingly, all rights and privileges of use permitted shall cease and expire upon notice of revocation by the City. Upon the expiration or revocation, Permittee shall, within the time prescribed by the City, remove all improvements or obstructions placed, constructed or maintained by the Permittee. If the Permittee fails to abide by the removal order of the City within the time prescribed, the City shall have the right to remove and destroy the improvements without reimbursement to the Permittee and the cost of such removal shall be paid by the Permittee to the City of Riverside and shall constitute a debt owed to the City of Riverside.

4. Permittee, by acceptance hereof, waives the right of claim, loss, damage or action against the City of Riverside arising out of or resulting from revocation, termination, removal of the improvements or any action of the City of Riverside, its officers, agents or employees taken in accordance with the terms hereof.

5. Finding and determination by the City Council of the City of Riverside that the Permittee, or his heirs and assigns or successors in interest, are in default of the terms hereunder shall be cause for revocation.

6. Permittee herewith agrees to hold the City of Riverside harmless from and against all claims, demands, costs, losses, damages, injuries, action for damages and/or injuries, and liability growing or arising out of or in connection with the construction, encroachment, and/or maintenance to be done by Permittee or his agents, employees or contractors within the described property.

DATED: APR. 16 1990

CITY OF RIVERSIDE, a municipal corporation

By Terry Frenzel Mayor

Attest Allen A. Nelson City Clerk

The foregoing is accepted by:

(Signature(s) of Permittee)  
W.H. Navimer, Trustee  
W.H. NAVIMER, TRUSTEE (AS LESSEE)

APPROVED AS TO CONTENT  
Bary Beil  
Department Head

for Dieter P. Witzfeld  
Department Head - Public Utilities

APPROVED AS TO FORM  
John Woodhead  
City Attorney

[Signature]  
Staff: Cultural Heritage Board

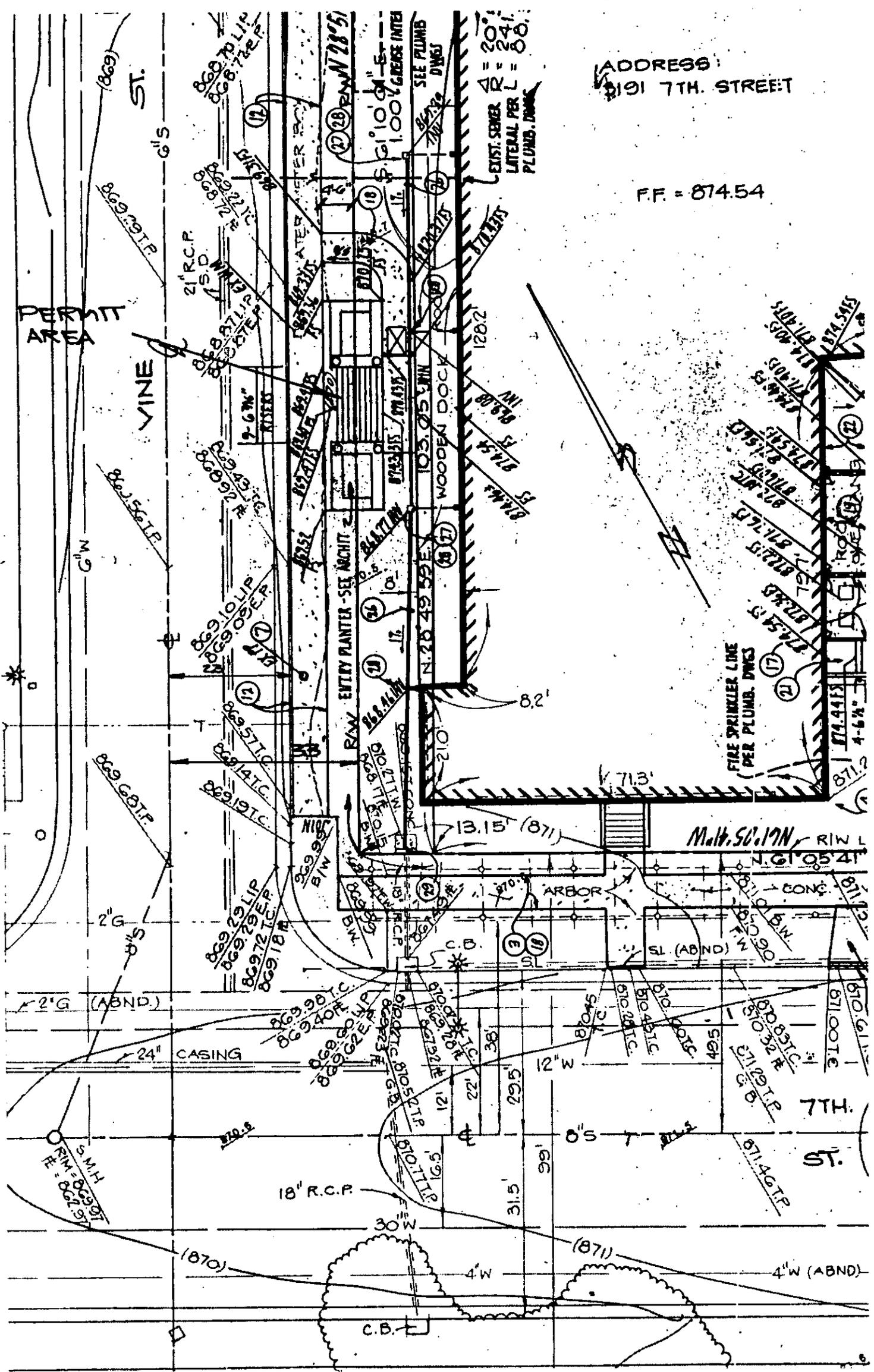
Concurs with,

CITY MANAGER APPROVAL  
[Signature]  
City Manager

[Signature]  
Planning Department

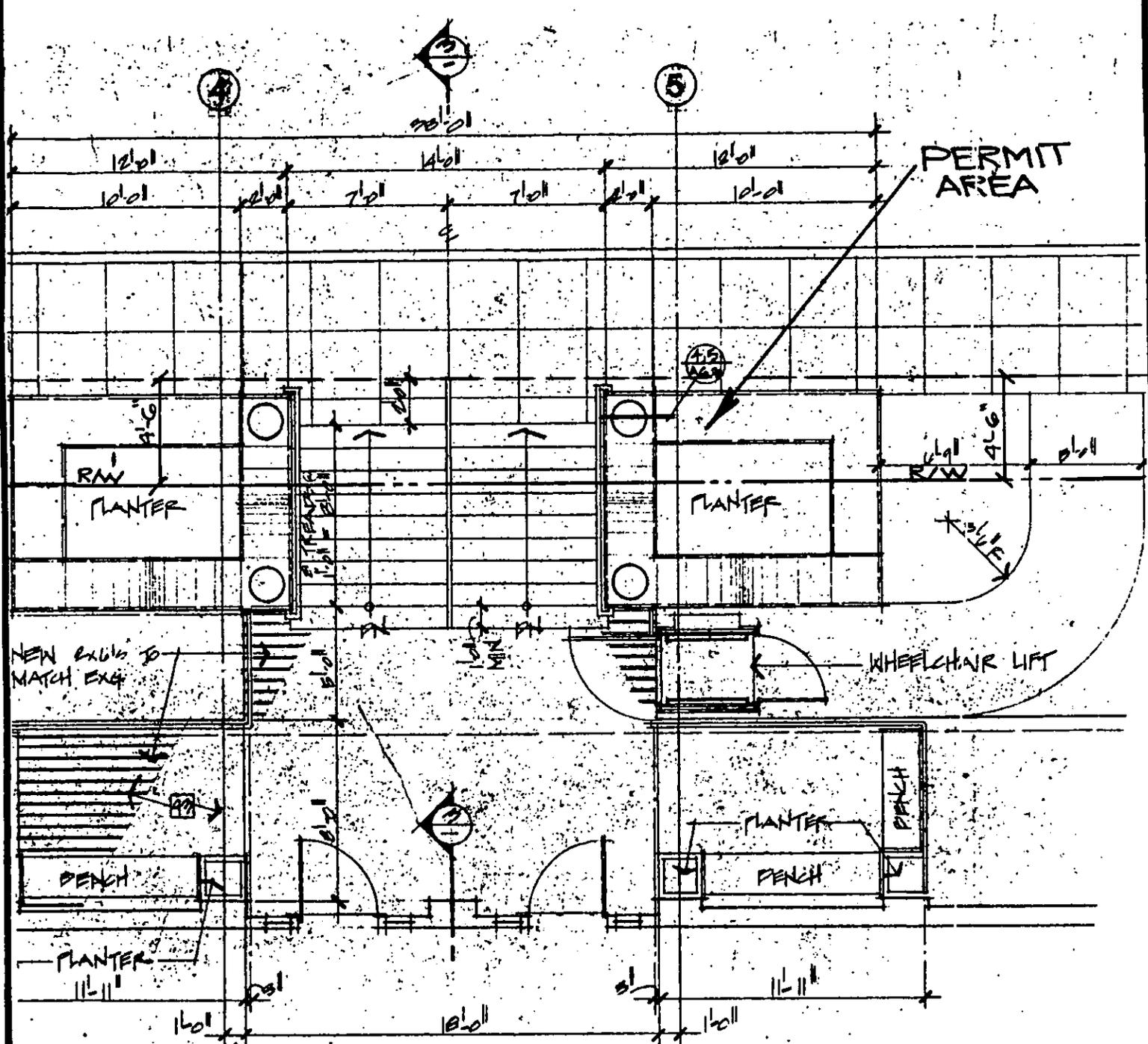
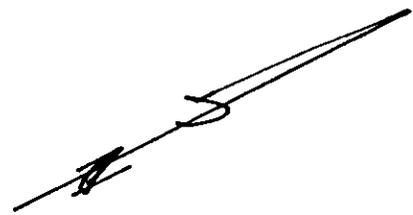
ADDRESS:  
8191 7TH. STREET

FF. = 874.54

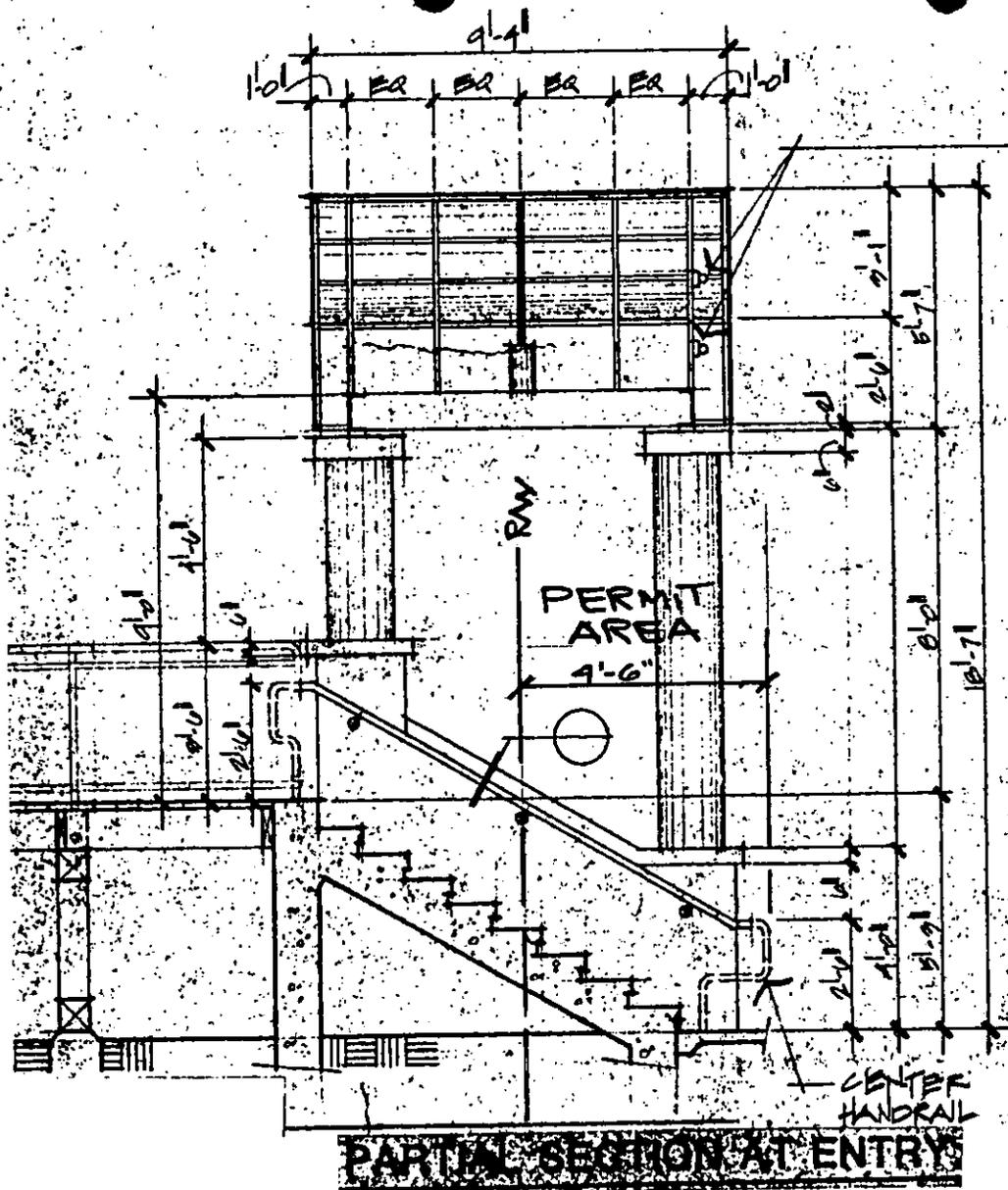


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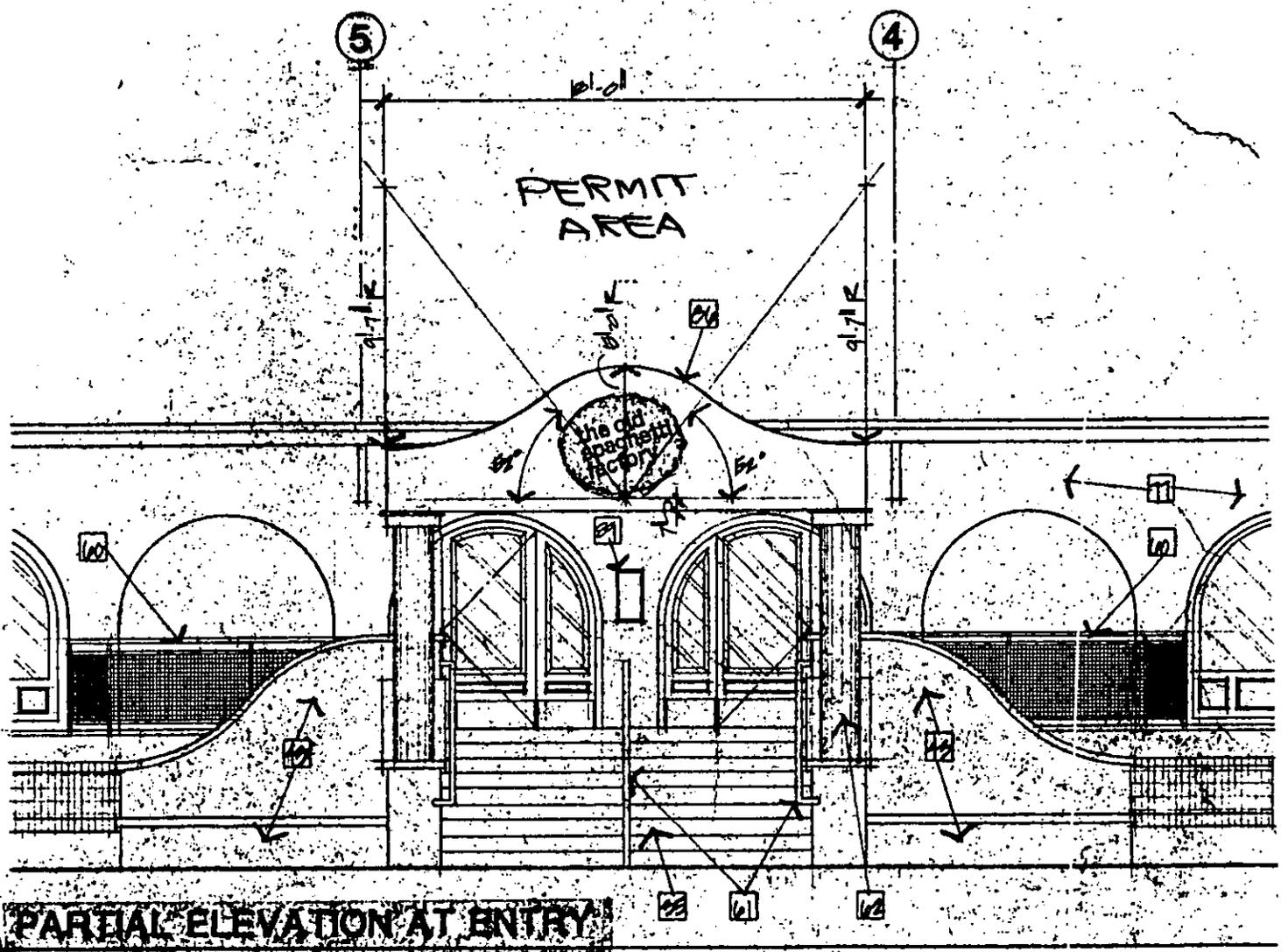
EXHIBIT 'A'  
SHEET 1 OF 4



**PARTIAL FLOOR PLAN AT ENTRY**



**PARTIAL SECTION AT ENTRY**



**PARTIAL ELEVATION AT ENTRY**

**ENCROACHMENT PERMIT**

**EXHIBIT "A"**  
SHEET 3 OF 4

# KEY NOTES

- 23. TRANSFORMER SEE ELECTRICAL
- 24. UTILITY POLE
- 25. LIGHT FIXTURE SEE ELECTRICAL
- 26. GREASE INTERCEPTOR & VAULT SEE PLUMBING
- 27. WATER METER SEE PLUMBING
- 28. GAS METER SEE PLUMBING
- 29. FIRE SPRINKLER RISER SEE PLUMBING
- 30. IRRIGATION CONTROLLER SEE LANDSCAPE
- 31. DOUBLE FACED PAINTED WOOD SIGN
- 32. CONCRETE CONDENSER PAD
- 33. HVAC CONDENSERS SEE MECHANICAL
- 34. EXISTING CONCRETE STAIRS
- 35. CONCRETE STAIRS SEE STRUCTURAL
- 36. STEEL STAIRS AND PIPE HANDRAILS - PAINTED
- 37. EXISTING SCALE, SECURE IN PLACE - SEE STRUC
- 38. STEEL LOADING DOCK PAINTED
- 39. CMU TRASH ENCLOSURE PAINTED
- 40. STEEL FRAMED WOOD GATES PAINTED
- 41. PIPE GUARD PAINTED YELLOW
- 42. EXISTING WOOD DECK CLEAN, PREP, PAINT
- 43. CMU PLANTERS W/ PLASTER FINISH - PAINTED
- 44. HANDICAP LIFT
- 45. WALL MOUNTED METAL SIGN: "ONE WAY - DO NOT ENTER"
- 46. WALL MOUNTED METAL SIGN "NO PARKING"
- 47. POLE MOUNTED METAL SIGN OF DISABLED ACCESSIBILITY FOR PARKING
- 48. WATER CLOSET SEE PLUMBING
- 49. URINAL SEE PLUMBING
- 50. LAVATORY SEE PLUMBING
- 51. 8" PLUMBING WALL 2 2X4 STUDS @ 16 O C
- 52. PROVIDE SOUND INSULATION IN THIS WALL
- 53. DRINKING FOUNTAIN SEE PLUMBING
- 54. TOP OF FURRING OR WALLS AT 13' 9" A.F.F
- 55. TOILET PARTITIONS
- 56. LOCKERS BY OWNER
- 57. FLOOR ACCESS LADDER TO CRAWLSPACE
- 58. PLANTER
- 59. BENCH SEATING
- 60. GUARDRAIL PAINTED
- 61. PIPE HANDRAIL - PAINTED
- 62. CONCRETE COLUMN
- 63. ILLUMINATED EXIT SIGN SEE ELECTRICAL
- 64. EXISTING SCALE TO REMAIN - PROTECT IN PLACE
- 65. EXISTING FLOOR SCALE SECURE IN PLACE
- 66. EXISTING ITEM TO REMAIN PROTECT IN PLACE
- 67. EXISTING ITEM TO BE REMOVED
- 68. EXISTING ITEM TO BE RELOCATED PER OWNER
- 69. RELOCATE SLIDING DOOR TRACK
- 70. EXISTG OR RELOCATED DOOR TO BE FIXED IN CLOSED POSITION
- 71. EXISTG OR RELOCATED DOOR TO BE FIXED IN OPEN POSITION
- 72. PATCH FLOORING TO MATCH EXISTING MATERIAL AND FINISH
- 73. PATCH TO MATCH ADJACENT FINISHES
- 74. EXISTING BRONZE PLAQUE TO REMAIN
- 75. MATCH SIZE AND PLACEMENT OF BRONZE PLAQUE
- 76. ASPHALT SHINGLE ROOFING
- 77. EXISTING PLASTER CLEAN, PREP, PAINT
- 78. EXISTING REDWOOD SIDING CLEAN, PREP, PAINT
- 79. STEEL DOCK ACCESS LADDER PAINTED
- 80. PATCH PLASTER TO MATCH EXISTING
- 81. EXISTING CONCRETE FOUNDATION WALL
- 82. WOOD ROOF SIGN PAINTED
- 83. EXISTING SHEET METAL DOWNSPOUT - PAINTED
- 84. EXISTING WIRE MESH - CLEAN, PREP, PAINT
- 85. EXISTING PLYWOOD PANEL CLEAN, PREP, PAINT
- 86. CANVAS CANOPY
- 87. PLANTER
- 88. PAINTED SIGN ON PLASTER WALL
- 89. WALL MOUNTED WOOD SIGN - PAINTED
- 90. WIRE MESH PAINTED
- 91. REDWD SIDING, AND INSULATION OF EXISTG WALL
- 92. WALL MOUNTED PAINTED WOOD SIGN
- 93. 2X8 REDWOOD DECK PAINTED
- 94. PATCH FLOOR AND ROOF FRAMING AS REQUIRED
- 95. TOP OF WALL AT 9' 8", FRAMED TO CEILING JST
- 96. TOP OF WALL FRAMED TO EXISTING CEILING JST
- 97. EXISTG EQUIPMT ACCESS HATCH - SECURE IN PLACE
- 98. RELOCATE EXISTING DOWNSPOUT
- 99. INFILL EXISTG FENESTRATION MATCH SURROUNDING FINISHES