

ENCROACHMENT PERMIT

Pursuant to Resolution No. 11065 of the City of Riverside, permission is hereby granted to JEROME H. THOMPSON AND BONNY L. THOMPSON  
3243 Arlington Avenue, Suite 200  
Riverside, CA 92506

their heirs and assigns, hereinafter referred to as "Permittee" to use and occupy the following described property.

That portion of a 20' P.U.E. as described by Deed No. 2095, recorded in Book 1110, Page 133, 9-22-49, Records of Riverside County. Said Deed being a portion of Lot X of the Riverside Industrial Development Project, McNew Tract, as shown by map on file in Book 12, Page 18, of Maps, records of Riverside County, California, as shown on the attached Exhibit "A",

in accordance with the terms hereof.

1. Permittee shall use and occupy the described property only in the manner and for the purposes as follows: Maintenance of an existing building encroaching a maximum of 12 feet into said P.U.E. as shown on the attached Exhibit "A".

2. Permittee, by acceptance of the benefits hereunder, acknowledges title to the property to be in the City of Riverside and waives any right to contest the validity of the dedication or grant.

3. Permittee acknowledges that the described property is the site of a proposed or planned public improvement and that, accordingly, all rights and privileges of use permitted shall cease and expire upon notice of revocation by the City. Upon the expiration or revocation, Permittee shall, within the time prescribed by the City, remove all improvements or obstructions placed, constructed or maintained by the Permittee. If the Permittee fails to abide by the removal order of the City within the time prescribed, the City shall have the right to remove and destroy the improvements without reimbursement to the Permittee and the cost of such removal shall be paid by the Permittee to the City of Riverside and shall constitute a debt owed to the City of Riverside.

4. Permittee, by acceptance hereof, waives the right of claim, loss, damage or action against the City of Riverside arising out of or resulting from revocation, termination, removal of the improvements or any action of the City of Riverside, its officers, agents or employees taken in accordance with the terms hereof.

5. Finding and determination by the City Council of the City of Riverside that the Permittee, or his heirs and assigns or successors in interest, are in default of the terms hereunder shall be cause for revocation.

6. Permittee herewith agrees to hold the City of Riverside harmless from and against all claims, demands, costs, losses, damages, injuries, action for damages and/or injuries, and liability growing or arising out of or in connection with the construction, encroachment, and/or maintenance to be done by Permittee or his agents, employees or contractors within the described property.

DATED: JUN. 12 1990

CITY OF RIVERSIDE, a municipal corporation

By Terry Fringel Mayor

Attest Alina [Signature] City Clerk

The foregoing is accepted by:

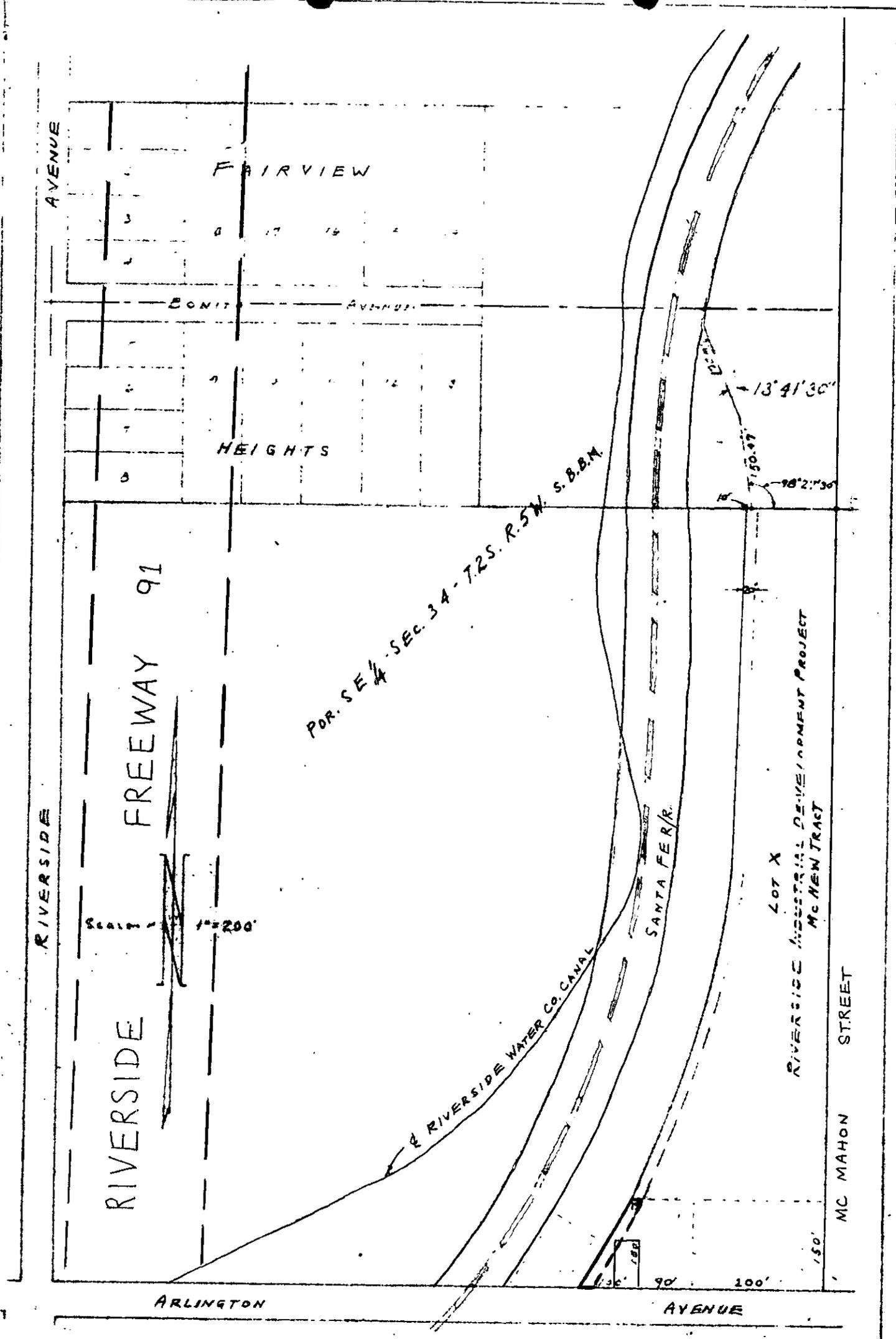
[Signature]  
(Signature(s) of Permittee)  
[Signature]  
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APPROVED AS TO CONTENT  
[Signature]  
Department Head

[Signature]  
for Department Head - Public Utilities

APPROVED AS TO FORM  
[Signature]  
City Attorney

CITY MANAGER APPROVAL  
[Signature]  
City Manager



POR. S.E. 1/4 SEC. 34 - T.2S. R.5W. S.B.M.

FREEWAY 91

RIVERSIDE

RIVERSIDE AVENUE

FAIRVIEW

HEIGHTS

CONIT AVENUE

LOT X  
RIVERSIDE INDUSTRIAL DEVELOPMENT PROJECT  
MC MAHON TRACT

MC MAHON STREET

SANTA FE R/R

RIVERSIDE WATER CO. CANAL

ARLINGTON AVENUE

RIVERSIDE LIGHT DEPARTMENT

DRAWN BY J.H.H. TRACKED BY J.H.H.	SCALE 1"=200' DATE 6-29-49	CHECKED APPROVED
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EXHIBIT "A"

SHEET 1 OF 2

E-1149

EXHIBIT "A"  
SHEET 2 OF 2

EMPLOYEE  
PARKING



EXIST. SEPTIC SYSTEM  
TO REMAIN AS IS

EXIST. TOILET  
AREA (NEW WALL)

EXIST. P.D.D.S.

PROPOSED USE:  
RETAIL WAREHOUSE/  
SALES FACILITY  
PARKING REQ. D.H. = 800 = 0

PROPOSED WORK:

- 1. PATCH ROOF FLEET
- 2. REPLACE MISSING WINDOWS
- 3. REPAINT EXTERIOR (SAME COLORS)
- 4. REMOVE "MCM" SIGN

3307 ARLINGTON AV.  
A.P.N. 225 050-018

WAREHOUSE = 2000 SF  
SALES = 1000 SF

PLANTING

EXIST. PLANTER

EXIST. ENTRY

EXIST. PLANTER

NEW 4" WIDE  
WHITE PAINTED  
LINES (TYP)

EXIST. A.C. PAVING  
(NEW SEAL COAT)

REMOVE EXIST. A.C. PAVING  
PLANTING

EXIST. CONC. CURB

DRIVEWAY

EXIST. 37' DRIVEWAY

EXIST. P.P. # 32234  
EXIST. ELECT. VAULT

EXIST. CURB

EXIST. WATER

— ARLINGTON — AVENUE —

— ST — MC MAHON —

150.00'

70'

20'

100.00'

5'

5'