

APPLICATION FOR ENCROACHMENT PERMIT
(to be completed by applicant)

TEXACO REFINING & MARKETING, INC., the Owner Lessee of the property located at 11025 MAGNOLIA in the City of Riverside, Assessors Parcel No. 142-262-007 hereby requests permission to CONSTRUCT AND MAINTAIN NEW 6" CONCRETE PLANTERS

in the public right of way of MAGNOLIA AND LA SIERRA / or the _____ easement at the _____ rear / _____ side / _____ front of said property. The attached drawing shows the requested encroachment. Upon issuance of this permit, I agree to comply with the attached terms and conditions.

* Date 12/2/94

TEXACO REFINING & MARKETING, INC.
Jerry L. Boyer Jr. T.R.M.P.

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ENCROACHMENT PERMIT APPROVAL
(to be completed by City)

This permit shall become effective upon the approval of the Departments listed below. Issuance of this permit shall not be construed as a waiver of any other applicable permit or requirement, but is only revocable permission to use the land for the purpose described.

- Public Utilities Water Dr. Simpson 11/29/94
- Public Utilities Electric Ed H. B. JTA
- Planning Craig Aaron, Principal Planner 11-29-94
- Parks and Recreation Tony Nelson 11-30-94
- _____ (other) _____
- _____ (other) _____

Upon obtaining the above signatures, return this permit to the Public Works Department for final approval.

Date 12/6/94

Barry Bol
Public Works Director

Encroachment Permit No. E-1278

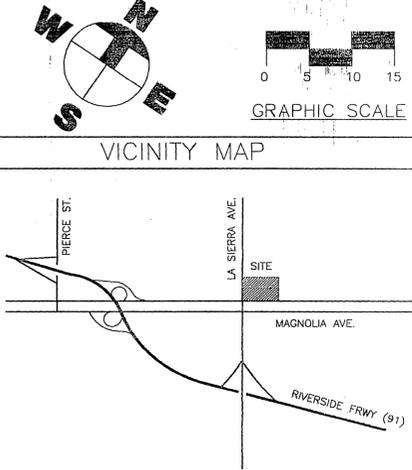
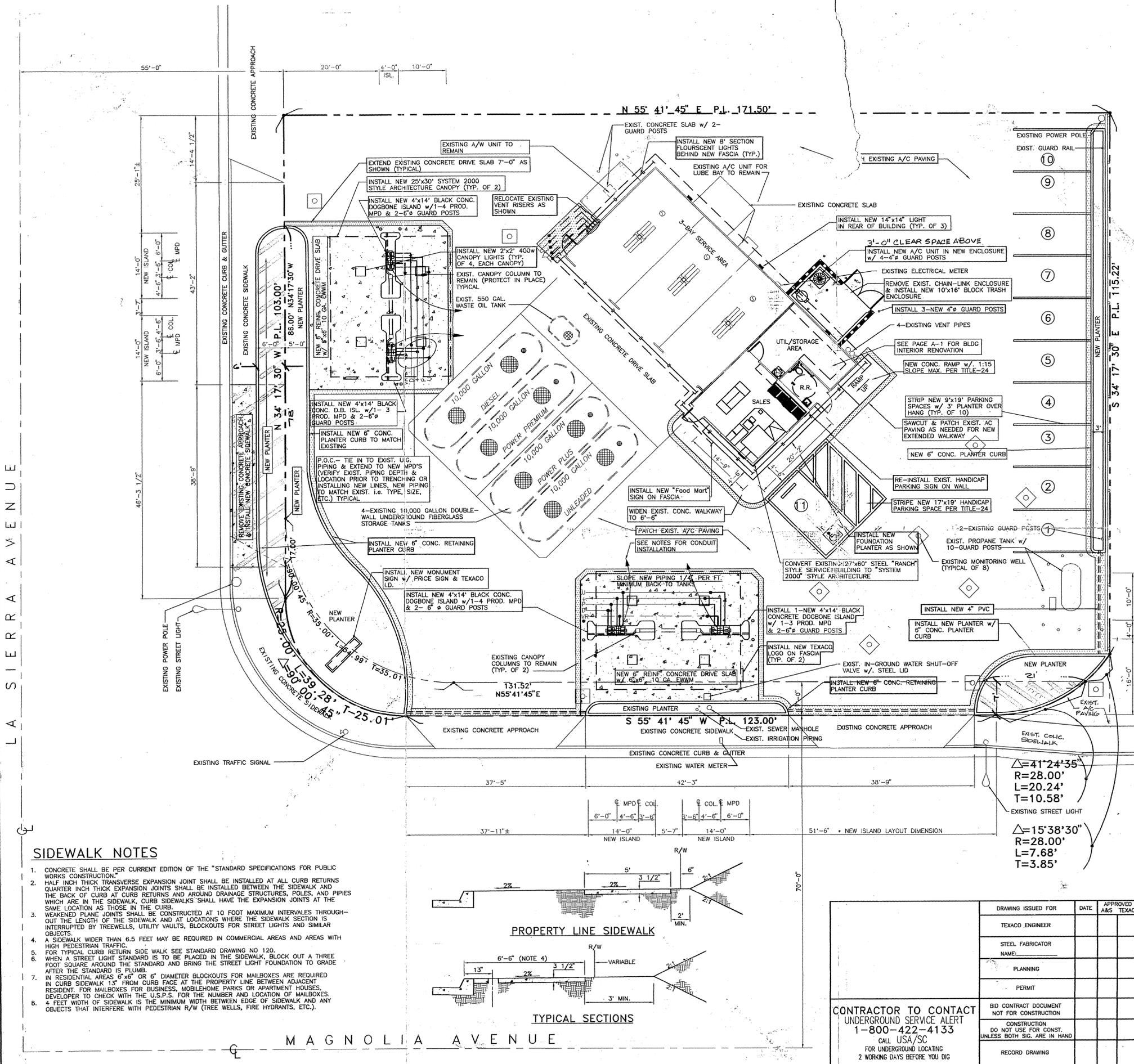
TERMS AND CONDITIONS

The following indicated terms and conditions apply to encroachment permit no. E-1278.

1. Permittee acknowledges that the area of encroachment is owned or controlled by the City of Riverside.
2. Permittee acknowledges that the described property could be needed for a proposed or planned public improvement and the City may revoke this permit. Upon written notice of revocation, the permittee shall, within the time prescribed by the City, remove all improvements placed, constructed or maintained. If the permittee fails to abide by the removal order of the City, the City shall have the right to remove and destroy the improvements without reimbursement to the permittee. The cost of such removal shall be paid by the permittee to the City and shall constitute a debt owed to the City.
3. Permittee waives the right of claim, loss, damage or action against the City resulting from revocation, termination, removal of improvements or any action of the City, its officers, agents or employees taken in accordance with the terms herein.
4. If the City Council of the City of Riverside finds that the permittee is in default of the terms of this permit, that shall be cause for revocation.
5. Permittee herewith agrees to hold the City of Riverside harmless from and against all claims demands, costs, losses, damages, injuries, actions for damages and/or injuries, and liability in connection with the construction, encroachment, and/or maintenance to be done by permittee within the described property.
6. Prior to any construction taking place on City controlled property, permittee shall obtain a Construction Permit or Street Opening Permit from the City Public Works Department.
7. The permittee agrees to insure that construction of their improvements will not interfere in any way with existing City or utility facilities. The existing facilities will require future maintenance, reconstruction and revisions and facilities may be added, any of which may result in removal or alteration of the permittee's improvements without

reimbursement to the permittee. Prior to construction, Permittee shall contact **Underground Service Alert** to field locate existing utility lines. Any conflicts discovered will void the permit until acceptable revisions are made.

8. At such time as the City of Riverside, or parties under contract with the City of Riverside, construct additional street improvements in conjunction with a street widening project within the proposed encroachment area, the proposed 6" concrete curb planters may be removed by the contractor and shall not be relocated at the expense of the City of Riverside or by other parties under contract with said City.

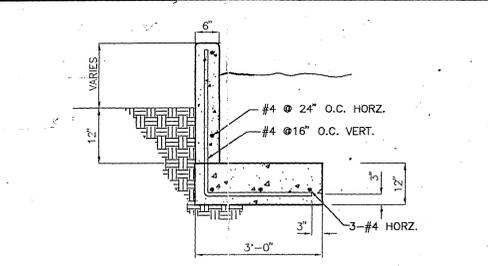


- UNDERGROUND PIPING NOTES**
- THE CUSTOMER'S SPECIFICATIONS ARE TO BE FOLLOWED FOR ALL WORK PERFORMED AT THIS SITE.
 - ALL WORK, INCLUDING PLUMBING AND ELECTRICAL, SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL ADOPTED BUILDING CODES AND SUPPLEMENTARY ORDINANCES. ALL AS DIRECTED BY COMPANY REPRESENTATIVE.
 - CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE. NOTIFY COMPANY REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN SITE CONDITIONS AND INFORMATION SHOWN ON DRAWINGS, PRIOR TO COMMENCING WORK.
 - BACKFILL MATERIAL SHOULD NOT MASK, ABSORB, OR REACT WITH THE HAZARDOUS MATERIALS RELEASED.
 - PIPING: RED THREAD II SINGLE-WALL (PRODUCT, VENT/VAPOR)
 - TANKS: EXISTING XERXES DOUBLE-WALL FIBERGLASS
 - SAWCUT & PATCH EXISTING CONCRETE & A/C PAVING AS REQUIRED FOR NEW LINES, CONDUITS, ETC.
 - PRESSURE MONITOR: T1S-250, LEAK DETECTOR w/ IN-LINE POSITIVE SHUT DOWN; RED JACKET PPM 4000
 - SLOPE ALL NEW PRODUCT/VENT/VAPOR LINES 1/4" PER FOOT MINIMUM BACK TO TANKS.
 - INSTALL ONE 1" U.G. CONDUIT FROM SALES AREA TO CANOPY STUB-UP & CAP 6" ABOVE PUMP ISLAND FOR FUTURE INTERCOM SYSTEM.
 - INSTALL 2-NEW 3/4" U.G. CONDUITS FROM TURBINE CONTROL RELAY PANEL/CONSOLE TO EACH DISPENSER & CONNECT WIRING.
 - INSTALL 2-NEW 3/4" U.G. CONDUITS FROM TURBINE CONTROL RELAY PANEL/CONSOLE TO EACH DISPENSER & CONNECT WIRING.
 - INSTALL 3-NEW 3/4" U.G. CONDUITS FROM PUMP CONTROLLERS TO NEW TANK TURBINES & CONNECT WIRING.
 - INSTALL 1-NEW 3/4" U.G. CONDUIT FROM ELECTRICAL PANEL TO CANOPY COLUMN & CAP 6" ABOVE PUMP ISLAND FOR FUTURE USE.
 - REFER TO "TYP. U.G. PIPING/ELECT." SPECIFICATION FOR ALL APPLICABLE CONDUITS.
 - G.C. TO ADJUST EXIST. MONITORING WELLS TO GARDE AS NEEDED FOR NEW CONCRETE SLAB
 - ALL NEW PIPING, COUPLING, SEALANT, ETC. SHALL BE COMPATIBLE W/ EXISTING AND SHALL MEET OR EXCEED NATIONALLY RECOGNIZED CODES.
 - ALL NEW PIPING SHALL BE INSTALLED AS PER MANUFACTURER'S SPEC.
 - SURFACE SEAL (CONCRETE, ASPHALT) SHALL BE APPLIED AT LEAST ONE FOOT BEYOND EXCAVATION BOUNDARY.
 - G.C. TO INSTALL NEW CONTAINMENT BOXES PROVIDED BY TEXACO.

REQUIRED ENCLOSURE MATERIALS

BLOCK COLOR: GREY TYPE: SPLIT FACE SIZE: 8"x8"x16"
 CAP COLOR: GREY TYPE: PRECISION SIZE: 8"x2"x8"
 GATE GAUGE/MATERIAL: 16 GA/RIBBED METAL COLOR: GREY

PEDESTRIAN ACCESS REQUIREMENTS: UTILIZE A "FULL FEATURE" TRASH ENCLOSURE DESIGN, INCLUDING PEDESTRIAN ACCESS.

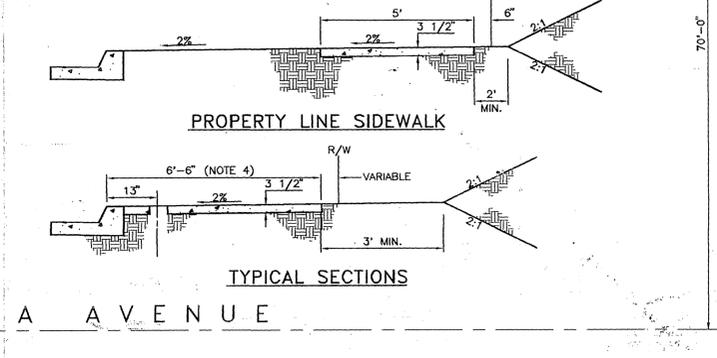


SITE INFORMATION

EXISTING ZONE	ITEM	SIZE	LOT %	AREA (SQ.FT.)
TOTAL LOT AREA	N/A	N/A	N/A	21,699.16
	SERVICE BUILDING	27'-0" x 58'-3"	7.2	1,572.75
	CANOPY (LA SIER.)	25'-0" x 30'-0"	3.5	750.0
LANDSCAPING	CANOPY (MAGNO.)	25'-0" x 30'-0"	3.5	750.0
	N/A	N/A	10.9	1,812.8

PARKING 1-17'x19' HANDICAP & 10-9'x19' PARKING SPACES

- SIDEWALK NOTES**
- CONCRETE SHALL BE PER CURRENT EDITION OF THE "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION."
 - HALF INCH THICK TRANSVERSE EXPANSION JOINT SHALL BE INSTALLED AT ALL CURB RETURNS QUARTER INCH THICK EXPANSION JOINTS SHALL BE INSTALLED BETWEEN THE SIDEWALK AND THE BACK OF CURB AT CURB RETURNS AND AROUND DRAINAGE STRUCTURES, POLES, AND PIPES WHICH ARE IN THE SIDEWALK, CURB SIDEWALKS SHALL HAVE THE EXPANSION JOINTS AT THE SAME LOCATION AS THOSE IN THE CURB.
 - WEAKENED PLANE JOINTS SHALL BE CONSTRUCTED AT 10 FOOT MAXIMUM INTERVALS THROUGHOUT THE LENGTH OF THE SIDEWALK AND AT LOCATIONS WHERE THE SIDEWALK SECTION IS INTERRUPTED BY TREEWELLS, UTILITY VAULTS, BLOCKOUTS FOR STREET LIGHTS AND SIMILAR OBJECTS.
 - A SIDEWALK WIDER THAN 6.5 FEET MAY BE REQUIRED IN COMMERCIAL AREAS AND AREAS WITH HIGH PEDESTRIAN TRAFFIC.
 - FOR TYPICAL CURB RETURN SIDE WALK SEE STANDARD DRAWING NO 120.
 - WHEN A STREET LIGHT STANDARD IS TO BE PLACED IN THE SIDEWALK, BLOCK OUT A THREE FOOT SQUARE AROUND THE STANDARD AND BRING THE STREET LIGHT FOUNDATION TO GRADE AFTER THE STANDARD IS PLUMB.
 - IN RESIDENTIAL AREAS 6" OR 6" DIAMETER BLOCKOUTS FOR MAILBOXES ARE REQUIRED IN CURB SIDEWALK 13" FROM CURB FACE AT THE PROPERTY LINE BETWEEN ADJACENT RESIDENT FOR MAILBOXES FOR BUSINESS, MOBILEHOME PARKS OR APARTMENT HOUSES. DEVELOPER TO CHECK WITH THE U.S.P.S. FOR THE NUMBER AND LOCATION OF MAILBOXES. 4 FEET WIDTH OF SIDEWALK IS THE MINIMUM WIDTH BETWEEN EDGE OF SIDEWALK AND ANY OBJECTS THAT INTERFERE WITH PEDESTRIAN R/W (TREE WELLS, FIRE HYDRANTS, ETC.).



CONTRACTOR TO CONTACT
 UNDERGROUND SERVICE ALERT
 1-800-422-4133
 CALL USA/SC
 FOR UNDERGROUND LOCATING
 2 WORKING DAYS BEFORE YOU DIG

DRAWING ISSUED FOR	DATE	APPROVED A&S TEXACO
TEXACO ENGINEER		
STEEL FABRICATOR		
NAME:		
PLANNING		
PERMIT		
BID CONTRACT DOCUMENT NOT FOR CONSTRUCTION		
CONSTRUCTION DO NOT USE FOR CONST. UNLESS BOTH SIG. ARE IN HAND		
RECORD DRAWING		

REVISIONS

NO.	DATE	BY	COMMENTS
5	7/21/94	F.C.	REVISED PARKING SPACES
6	8/2/94	S.L.	REVISED FOR BID
7	9/2/94	S.L.	REVISED PER COUNTY & TEXACO
8	9/29/94	F.C.	GENERAL REVISION FOR BID.
9	9/30/94	F.C.	REVISED PER JCB WALK
10	10/27/94	F.C.	REVISED PER CITY.
11	11/2/94	F.C.	REVISED PER CITY.
12	11/14/94	F.C.	REVISED PROPERTY PER LEGAL DESCRIPTION
13	11/28/94	F.C.	REVISED ADDED PLANTERS TO LA SIERRA & MAGNOLIA

PLANS PREPARED BY:
A & S ENGINEERING
 PLANNING ENGINEERING CONSTRUCTION MANAGEMENT
 207 WEST ALAMEDA AVENUE SUITE 202
 BURBANK, CALIFORNIA 91502
 PHONE: 818-842-3644 FAX: 818-842-3760

TEXACO
 REFINING AND MARKETING, INC.
 PACIFIC WEST REGION

PROPOSED PLOT PLAN
 11095 MAGNOLIA AVE. & LA SIERRA AVE.
 RIVERSIDE, CALIFORNIA

SCALE: 1"=10'-0"
 DATE: 2/2/94
 DWN. BY: J.L.HERBST
 CHKD. BY:

S.S.61-069-0323
 DRAWING # S-1
 SHEET 6 OF 42